

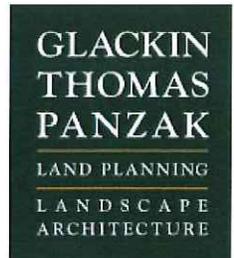
Cardinal Crossing

Goodman Properties

Manual of Written and Graphic Design Guidelines



Cardinal Crossing
Marple Township
Delaware County, Pennsylvania
May 15, 2015



This Page Left Intentionally Blank

Outline of Contents:

Purpose and Applicability

Commercial/Retail

1. Facade Composition
2. Exterior Building Materials
3. Windows and Doors on Primary Facade
4. Building Roofs
5. Sidewalks
6. Crosswalks
7. Site Lighting
8. Loading Areas and Trash Enclosures
9. Site Furniture
10. Public Gathering Spaces
11. Outdoor Dining
12. Amenity Structures
13. Portable Structures
14. Landscaping

Residential

15. Architecture
16. Monumentation and Signage
17. Pedestrian Connectivity
18. Sidewalks and Crosswalks
19. Street Lighting
20. Streetscape Elements
21. Street Trees
22. Landscaping

General

23. Stormwater
24. Maintenance of Improvements

Purpose and Applicability

Cardinal Crossing is a master planned development proposed under the Planned Community Center District and Planned Community Residential District in Marple Township, Pennsylvania. This community will include a mix of townhouses and single-family detached homes along with approximately 995,000 square feet of non-residential development. These Design Guidelines have been prepared to illustrate and supplement the ordinance requirements of the two districts and will be applicable for all of the development within the Cardinal Crossing community.

Purpose:

The purpose of this Manual of Written and Graphic Design Guidelines is to establish consistent and cohesive design guidelines that will create a sense of place and enhance the quality and character of the development through the use of aesthetically pleasing site features and amenities.

The Design Guidelines address the following objectives:

- Provide architectural standards which reduce the horizontal mass of the building architecture through the use of facade ornamentation, building and unit offsets, window treatments, and variation of roof lines.
- Promote safe passage way for vehicles and pedestrians through the interior site circulation within the residential and non-residential development areas and consideration of the off-site connections.
- Integrate site elements such as landscaping, hardscaping, site furniture, lighting, crosswalks, sidewalks, parking areas and public gathering spaces in a unified manner to enhance the public's experience of the site and the residents' quality of living.

Applicability:

The Design Guidelines are based on the Cardinal Crossing Preliminary/Final Major Subdivision and Land Development Plans last dated, May 15, 2015 and prepared by Bohler Engineering. The Design Guidelines are in accordance with applicable ordinance requirements and are not intended to supersede building or fire safety codes and regulations. The Design Guidelines are an Appendix to the Marple Township Subdivision and Land Development Ordinance and are subject to Marple Township review and approval.

As Cardinal Crossing will be built over several years, it is important to understand that some flexibility will be required in the application of these Design Guidelines. Materials and site amenities may evolve over the life of the project, and the Design Guidelines may require revisions or a practical application to adapt to these changes. All revisions shall be evaluated by Marple Township on the basis of providing equal or better results.

Commercial/Retail-Facade Composition



Building facade with varying materials, roofs, and piers and pilasters emphasizing verticality in the Town Center section.



A clear main entrance to a building.

Design Guidelines:

- 1.1 The massing of all buildings shall be de-emphasized in a variety of ways including but not limited to the use of projecting and recessed elements such as windows, roof dormers, peaked roof forms, a change in building materials, piers, pilasters, awnings, trellises, and pergolas to reduce the overall bulk and volume of the buildings. These architectural elements will enhance the visual aesthetic, and promote a human-scale development pattern.
- 1.2 Building design should distinguish and emphasize the building's base and top, and reinforce the scale of the street or drive for the pedestrian.
- 1.3 The primary façade and main entrances of the buildings shall face the primary or secondary street.
- 1.4 The horizontality of buildings should be de-emphasized through the use of vertical proportions and related verticality of materials and colors.



A variety of roof pitches and peaks creates visual interest.

Commercial/Retail-Facade Composition

- 1.5 For buildings with a façade or tenant space facing both a primary or secondary street, access driveway and a side or rear parking lot, the main entrance shall face the primary street or parking area. Secondary entrances, if any, should face the side or rear parking lot.
- 1.6 Primary building facades that exceed 150 feet in length shall have clearly designated customer entrances that may include items such as display windows, canopies, articulated roof forms, and outdoor seating and gathering areas.
- 1.7 No wall mounted mechanical or service equipment should be placed on the primary building façade, and such equipment located on non-primary building facades should be screened from view to the greatest extent feasible with parapet walls and other screening materials.



Awnings help promote a human-scale pattern.



Roof forms and canopies designate the entrance.



A main entrance facing a primary street.



Changes in building material can enhance the buildings aesthetic and vertical proportions.

Commercial/Retail-Exterior Building Materials



A brick and stucco facade.



A building utilizing secondary materials to accent a dominant material.



Appropriate loading/service facade materials.

Design Guidelines:

- 2.1 Exterior building materials shall be composed of one dominant facing material and not more than three secondary materials. The dominant material shall comprise 60% or greater of the building's primary façade and 30% of the secondary facades.
- 2.2 Service and loading area facades shall be composed of not less than two building materials.
- 2.3 Exterior building materials shall include wood and hardiplank clapboards, cementitious lap siding, synthetic stucco, brick, natural and manufactured stone, granite, decorative concrete block, precast masonry, and glass in warm tones.
- 2.4 Prohibited materials include un-faced concrete block; aluminum siding, vinyl siding and textured plywood.



Primary building materials appropriately accented with secondary materials.

Commercial/Retail-Windows and Doors on Primary Facades

Design Guidelines:

- 3.1 The maximum sill height above the adjacent sidewalk elevation shall be three feet or lower along the primary façade.
- 3.2 Window heads shall be a minimum of 8 feet above sidewalk level.
- 3.3 The top of display window(s) in the primary front façade shall be at least as high as the door height.
- 3.4 Retail fenestration shall be transparent and may be blocked up to a maximum of 30% with fixtures or paper banners.
- 3.5 Glazing shall be provided on primary and secondary facades in a similar manner as portrayed on this page.



Appropriately scaled front windows.



Clear main entrance and exit doors.



Windows used to display products.



A glass facade adds interest.

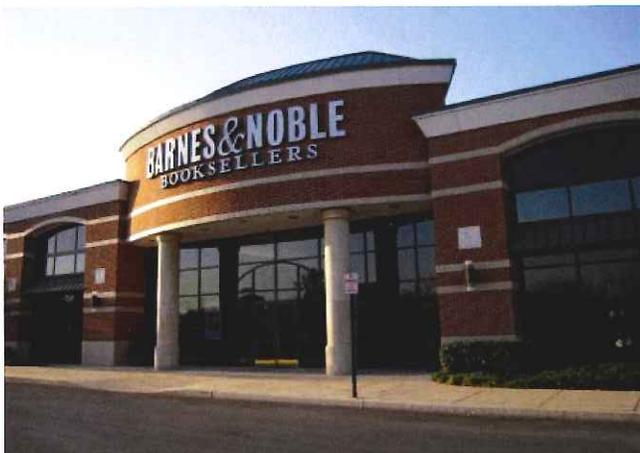
Commercial/Retail-Building Roofs



A storefront with varying pitched roofs.



Roof adds visual interest.



A seamed metal roof.

Design Guidelines:

- 4.1 Buildings shall be designed with either pitched roofs and overhanging eaves or flat roofs and articulated parapets and cornices.
- 4.2 Pitched roof materials may include slate (either natural or man-made), shingles that are wood or of asphalt composition, and metal formed to resemble standing seams or other similar materials. Specifically prohibited are white, tan, or blue shingles, and corrugated plastic or metal.
- 4.3 All rooftop mechanical equipment shall be screened visually and acoustically with parapets and roof features along the primary facade and primary street.



Parapets and roof features screen mechanical equipment.

Commercial/Retail-Sidewalks

Design Guidelines:

- 5.1 Sidewalks are the means of connecting pedestrians within Cardinal Crossing. Sidewalks shall be a minimum unobstructed width of five feet and constructed of concrete, brick pavers, or colored, textured, or stamped concrete.
- 5.2 When a sidewalk is interrupted by a street or access drive, a Crosswalk of a minimum of six feet in width shall be provided.
- 5.3 Sidewalks shall be provided along the primary and secondary building frontages.
- 5.4 Sidewalks shall be provided on both sides of the primary access road through the retail center.
- 5.5 Sidewalks shall be provided on one side of the parking area access drives.
- 5.6 Pedestrian amenities shall be provided between the retail and residential parcels.
- 5.7 All sidewalks and pedestrian connections shall comply with the Americans with Disabilities Act (ADA).



A brick and concrete sidewalk.



Concrete and pavers help create a desirable streetscape.



Parking lot sidewalk with ADA curb ramp.

Commercial/Retail-Crosswalks



A strong, clear pedestrian crosswalk.



A crosswalk designating a pedestrian connection from a parking lot.



A stamped asphalt crosswalk.

Design Guidelines:

- 6.1 The Crosswalks shall be primarily constructed of materials that provide a visual and/or textural contrast with the street paving. This may include brick pavers, stamped concrete, stamped asphalt, or paint.
- 6.2 Crosswalks shall be signed to indicate a pedestrian crossing.
- 6.3 All Crosswalk connections shall comply with the Americans with Disabilities Act (ADA).



A continental crosswalk delineated with white paint.



A "streetprint" crosswalk.

Commercial/Retail-Site Lighting

Design Guidelines:

- 7.1 Site lighting should provide safe, and dark sky friendly illumination. All light levels and uniformity ratios shall be in accordance with the most recent recommendations of the Illuminating Engineering Society of North America (IESNA).
- 7.2 Site light fixtures shall be full cut off lamps. Shielding shall be provided along the site perimeter adjacent to residential or other sensitive development.
- 7.3 Light fixtures shall have an ornamental quality, with the color and style to coordinate with the site furniture and complement the project architecture. Lights for parking fields may be a shoebox style. Site entries, main access drives and building frontages shall be illuminated with decorative light fixtures and poles.
- 7.4 Lights shall be placed within parking fields and along drive aisles so as to not displace shade trees within planting islands.
- 7.5 The height of the lights should relate to their location. Lights located along primary and secondary building facades should be lower to provide a pedestrian scale. Lights within parking areas may be taller to allow greater efficiency and less light fixtures.



Storefront lighting.



Appropriate storefront lighting fixtures.



“Shoebox” style parking lot lighting.

Commercial/Retail-Loading Areas and Trash Enclosures



A loading area/trash enclosure screened from view.



An appropriate stand-alone trash enclosure.



A metal fence trash enclosure.

Design Guidelines:

- 8.1 Loading areas shall be located at the rear or side of the buildings unless impractical due to the store position.
- 8.2 Where practical loading areas shall be screened from view.
- 8.3 Trash enclosures should be incorporated into the building. When not incorporated into the building, they shall be a stand-alone structure in close proximity to the building.
- 8.4 Trash enclosures shall be architecturally compatible with the buildings and be completely enclosed on four sides with solid walls, solid fences, and gates. Dark colored chain link fencing with solid inserts may be used along the gated sections of the trash enclosures.



A trash enclosure with appropriate chain link gate.

Commercial/Retail-Site Furniture: Benches

Design Guidelines:

- 9.1 All benches shall be located in highly visible areas and coordinated across the site. Materials may be architectural metal of dark or neutral colors or wood.
- 9.2 Where proposed, benches shall be located adjacent to building entrances, along a building wall, or in Public Gathering Areas. Benches shall be permanently attached to the ground.
- 9.3 Bench styles shall be selected to complement the site architecture and context and need not be identical throughout the site.



A traditional wood and metal bench.



A black metal bench.



A modern coated metal bench.



A modern wood and metal bench.

Commercial/Retail-Site Furniture: Waste Receptacles



Combination waste and recycling receptacle.



A coated metal waste receptacle.



A traditional metal waste receptacle placed near matching bench.

Design Guidelines:

9.4 All waste receptacles shall be placed in areas convenient to service and coordinated across the site. Materials may be architectural metal of dark colors, neutral colors, or wood. Waste receptacle style and material shall coordinate with other site furniture.

9.5 Waste receptacles shall be located adjacent to building entrances and other site furniture. Waste receptacles shall be permanently attached to the ground.

9.6 Waste receptacle styles shall be selected to complement the site architecture, other site furniture, and the site context. The site furniture does not need to be identical throughout the site.



A wood slat waste receptacle.

Commercial/Retail-Site Furniture: Bicycle Racks

Design Guidelines:

- 9.7 All bicycle racks shall be located in highly visible areas and areas of high pedestrian traffic. Materials may be architectural metal of dark or neutral colors.
- 9.8 Bicycle racks shall be permanently anchored in a concrete footing to promote stability and security.
- 9.9 Bicycle rack styles shall be selected to complement the site architecture, other site furniture, and context. They do not need to be identical throughout the site.



Bicycle racks located in a pedestrian plaza.



An appropriate modern bicycle rack.



Bicycle racks located conveniently along a pedestrian walkway.



A modern coated metal bicycle rack.

Commercial/Retail-Site Furniture: Planters



Planters of varying sizes.



Planters acting as a buffer between the sidewalk and the street.



Textured concrete planters.

Design Guidelines:

- 9.10 Planters shall be of natural or natural looking materials such as terra-cotta, pre-cast stone, textured concrete or heavy duty non-fading plastic materials.
- 9.11 Material selection to complement site architecture and context and need not be identical throughout the site.



Planters adding interest to the streetscape.

Commercial/Retail-Site Furniture: Bollards

Design Guidelines:

- 9.12 Bollards may be installed in appropriate areas in order to designate pedestrian areas.
- 9.13 All bollards shall be highly visible. Materials may be architectural metal or concrete of dark or neutral colors.
- 9.14 Bollard style and material shall coordinate with other site furniture and need not be identical throughout the site.



Bollards designating pedestrian walkways.



Concrete and black metal bollards.



Metal bollards.



Highly visible black metal bollards.

Commercial/Retail-Site Furniture: Banners



Colorful banners can enhance the streetscape.



The banner arms match the light pole.



Banners made of durable material.

Design Guidelines:

- 9.15 A pole-mounted vertical banner system may be provided.
- 9.16 These banners can be used to celebrate seasons, holidays, and special events, including advertising.
- 9.17 Banners shall be sized and placed at appropriate heights and intervals based on their location and the scale of the surrounding area.
- 9.18 Banner arms and mounting hardware shall match the style and color of the lights to which they are attached.
- 9.19 Banners shall be made of marine acrylic with thermoplastic ink or an approved equivalent with graphics on both sides.
- 9.20 Banner designs, banner arms, and support poles shall take into consideration potential wind loads.



Banner used to reinforce location identity.

Commercial/Retail-Cart Corrals

Design Guidelines:

- 9.21 Cart corrals shall be architecturally compatible with the buildings and other site furniture.
- 9.22 Cart corrals shall be located in convenient areas throughout large commercial parking lots where carts are provided by the tenant.



An ornamental cart corral.



A cart storage area screened from view.



Cart corrals located near the main building entrance.



A cart corral located conveniently in a parking lot.

Commercial/Retail-Public Gathering Areas



A shaded pedestrian plaza with appropriate furniture.



A storefront seating area.



A gathering space within a commercial center.

Design Guidelines:

- 10.1 Public Gathering Areas are intended to create a sense of place and provide the opportunity for shoppers to enjoy the outdoor atmosphere.
- 10.2 Benches, seat walls, decorative pavers, plantings and waste receptacles shall be provided in Public Gathering Areas to enhance attractiveness and safety.
- 10.3 The minimum size of a public gathering area shall be 600 square feet.
- 10.4 Public Gathering Areas shall be maintained to provide year-round attractiveness and utility.
- 10.5 All Public Gathering Areas shall be connected to the sidewalk system.
- 10.6 The slope within a Public Gathering area shall not exceed 3%.
- 10.7 Public gathering areas shall be planted with a minimum of one 3" caliper shade tree per 1,000 square feet.



Seating areas located along a sidewalk.

Commercial/Retail-Outdoor Dining

Design Guidelines:

- 11.1 Outdoor dining areas shall be separated from streets, drives, and parking areas by landscaping, planters, and/or fencing, no greater in height than 42.”
- 11.2 Outdoor dining areas shall be located to allow for pedestrian clearance of a minimum of 48”.



A dining area separated by a fence.



Outdoor dining within a commercial center.



Outdoor dining along storefronts.



Dining area separated from street by planters.

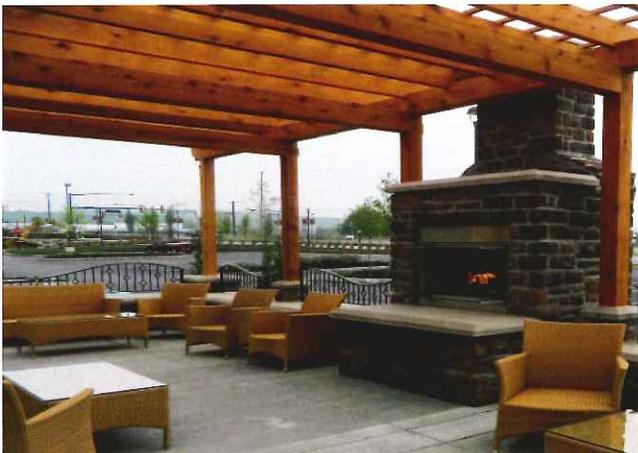
Commercial/Retail-Amenity Structures



An appropriately scaled bus stop shelter.



A bus shelter with a bench and signage.



A Public Gathering Area with a pergola structure.

Design Guidelines:

- 12.1 Bus shelters shall be planned for and provided in appropriate locations as directed by public transportation authorities.
- 12.2 All amenity structures shall be pedestrian in scale.
- 12.3 The architecture of the structures shall reflect that of the surrounding buildings and adjacent site context.
- 12.4 Access to all structures shall meet ADA regulation.
- 12.5 All structures shall be connected to the sidewalk system.



A shade structure.

Commercial/Retail-Portable Structures

Design Guidelines:

- 13.1 The use of portable structures shall be minimized. Portable structures such as market carts, ticket booths, tents and the like shall be placed where appropriate and maintained.
- 13.2 All portable structures shall be safely and securely anchored.
- 13.3 No vending machines or newspaper boxes shall be permitted, except within a building or an enclosure.
- 13.4 Portable structures shall not be permitted on a permanent basis but are allowed as part of special celebrations and events.
- 13.5 Portable structures shall not be located in a manner that limits visibility at street corners, at parking lot entrances and exits, or within parking lots.



A temporary market cart.



A temporary ticket booth.



A temporary market in a town center.

Commercial/Retail-Landscaping: Buffering



Buffer planting.



Buffer planting.



Buffer planting adjacent to parking area.

Design Guidelines:

- 14.1 Buffer plantings or walls shall be provided to separate disparate uses.
- 14.2 Buffer plant materials shall be selected to be tolerant of prevailing climatic, hydric, and soil conditions.
- 14.3 Buffer planting shall include a combination of evergreen and deciduous trees and shrubs to provide year-round screening and visual interest.
- 14.4 Buffer widths, size and quantities of required plant material shall be provided in accordance with the ordinance requirements.



Buffer planting.

Commercial/Retail-Landscaping: Parking Lots

Design Guidelines:

14.5 Perimeter parking lot landscaping should incorporate low hedges, walls, or fencing with a minimum height of 2' to provide screening from streets and soften edges of large parking areas.

14.6 Where possible, parking areas should incorporate rain gardens to filter and cleanse the first flush of a storm event and reduce nonpoint source pollution.

14.7 Parking lot landscaping shall be consistent with ordinance requirements including but not limited to percentage of parking lot to contain landscaping and number of required trees to be provided.



Plantings soften edges and buffer the parking lot from the road.



A low parking lot hedge providing screening.



A wall and fencing provides screening from streets.



A rain garden incorporated into a parking lot median.

Commercial/Retail-Landscaping: Streetscapes



An appropriate commercial streetscape planting.



Plantings provide shade for pedestrians.



Storefront street tree plantings.

Design Guidelines:

- 14.10 Streetscape plantings shall be incorporated to provide shade for pedestrians along sidewalks.
- 14.11 Street tree planting area shall have a minimum dimension of four feet in any direction.
- 14.12 Where trees are installed in non-porous pavement, a method of subgrade aeration shall be provided such as structural soil or other approved equal.
- 14.13 Street trees shall be provide in accordance with ordinance requirements including but not limited to on center spacing and installation sizes.
- 14.14 To the extent possible an emphasis shall be placed on using native plants.
- 14.15 All landscape plans shall be prepared by a Landscape Architect registered in the Commonwealth of Pennsylvania.



A streetscape planting complements and softens the architecture.

This Page Left Intentionally Blank

Residential-Architecture



2-Story traditional townhome, master bedroom up.



Side entry end unit displaying a balance of exterior building materials.



2-Story townhome displaying a balance of materials and colors.

Design Guidelines:

- 15.1 Architectural style to reflect that of ‘American Colonial’, which is typically depicted by two and three story structures with the main roof ridge-line running parallel to the street.
- 15.2 Architectural features may include: accented doorways; end-unit covered porches with columns; combinations of single, double and triple windows; single dormers; gable roof designs; standing seam metal roof accents; and carriage-styled garage doors.
- 15.3 Exterior building wall materials may include full or thin brick, natural or manufactured stone, fiber concrete siding, vinyl or wood siding. Trim details may include vinyl composit or aluminum wrapped wood trim. Aluminum siding is not permitted.
- 15.4 Roof materials may include architectural asphalt or fiberglass shingle, wood or shake shingles, or pre-finished standing seam metal.

Residential-Architecture

Design Guidelines:

- 15.5 Flat roofs are prohibited for the main body of the residential building.
- 15.6 Colors of materials will vary but remain in the neutral family - such as beige, darker tan, natural tones and grays. Masonry colors will be compatible with and complementary to siding colors.
- 15.7 Garage doors and siding shall be non-white colors, except for garage door trim accents. Trim, trim accents, windows and grills, and other architectural features including, but not limited to columns, porch rails, window head trim, gable vents, inside and outside corner trim, fascia, soffits and rakes may be white or a color complementary with the siding color.
- 15.8 Building massing and height will conform with the Planned Community Residential District requirements.



Townhomes with a rear walk-out.



3-story townhomes displaying a balance of materials and colors.

Residential-Entry Monumentation and Signage



Entry monument sign with landscaping.



Entry monument sign.



Small scale signage with landscaping.

Design Guidelines:

- 16.1 Community signage creates a sense of arrival and identifies neighborhoods.
- 16.2 Primary residential entry monumentation shall be provided for the northeastern neighborhood, behind the planned commercial center.
- 16.3 Signage of a smaller scale is to be provided at other access points to the residential neighborhoods. This signage will coordinate with the main entry monument to provide a consistent theme.



Example of smaller scale signage with landscaping.

Residential-Pedestrian Connectivity

Design Guidelines:

- 17.1 Trails may be provided to support pedestrian connectivity between neighborhoods and the nearby township park where feasible.
- 17.2 Trail access points shall be centrally located and easily recognizable.
- 17.3 The surface material selected shall be appropriate to the area in which the trail is located.
- 17.4 Trails shall be no less than 5 feet in width and no greater than eight feet.



Trail access point.



Compacted earth trail.



Asphalt paved trail.

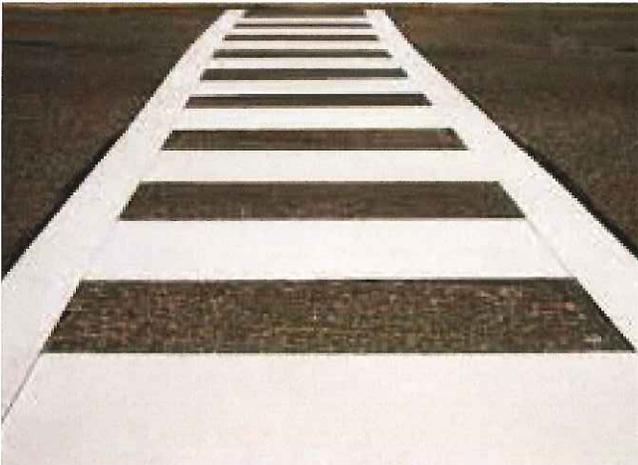


A walking trail.

Residential-Sidewalks and Crosswalks



Concrete sidewalk with landscaped edge.



Painted crosswalk.



Concrete sidewalk with decorative paving accenting the street corners.

Design Guidelines:

- 18.1 Sidewalks are intended to provide opportunities for pedestrian-friendly circulation.
- 18.2 Sidewalks are to be 4'-6" in width and shall be constructed of concrete and may include areas of decorative accent pavements including brick and/or concrete pavers.
- 18.3 Crosswalks shall be installed where sidewalks cross all cartways and at entrances to common parking areas.
- 18.4 Crosswalks shall be constructed of materials that provide a visual and/or textural contrast with the cartway paving. This may include the use of stamped concrete, stamped asphalt, or paint.
- 18.5 All sidewalks and crosswalks shall comply with the American with Disabilities Act (ADA).



Stamped concrete crosswalk

Residential-Street Lighting

Design Guidelines:

- 19.1 Street lights are to be installed and maintained in such a manner to provide safe and energy efficient illumination for drivers and pedestrians.
- 19.2 Street lights shall be decorative in nature, and of a pedestrian scale. If a LED light source is to be used the color temperature should range between 3000K - 4000K.
- 19.3 Street light posts shall be equipped to support an attached wayfinding sign, street sign, or stop sign where applicable.
- 19.4 The location of street lights should coordinate with sidewalk and street tree features within the streetscape.
- 19.5 Street lights shall be installed on both sides of a street where feasible in order to assure a uniform illumination level.



Decorative pedestrian scaled street light.



Traditional styled pedestrian scaled street light.

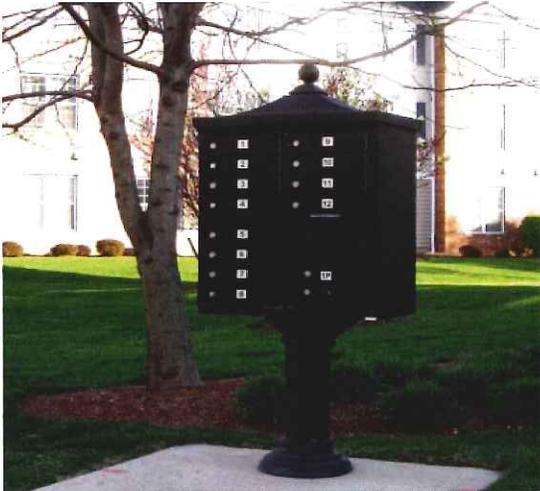


Decorative street light incorporated into landscaping.

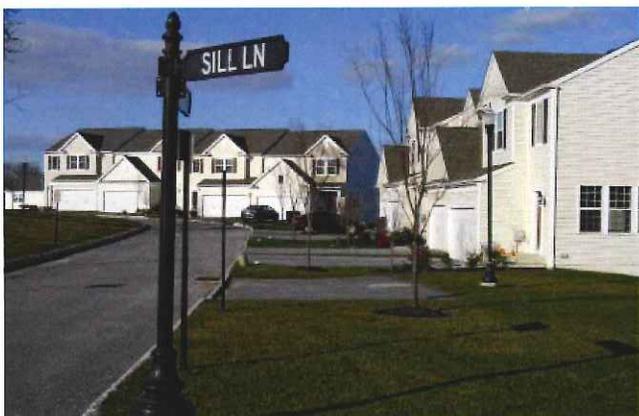
Residential-Streetscape Elements



Decorative street signage on a decorative pole.



Traditional style mail kiosk.



Street signage on a decorative pole.

Design Guidelines:

- 20.1 Streetscape elements such as signage, street lighting, benches, and mail kiosks shall be coordinated throughout the community.
- 20.2 Streetscape elements should be complementary to the architectural style and exterior materials of the housing units.
- 20.3 Street identification shall be installed on decorative poles complementary to the poles provided for street lighting.
- 20.4 Mail kiosks shall be centrally located, near sidewalks and/or off street parking.

Residential-Street Trees

Design Guidelines:

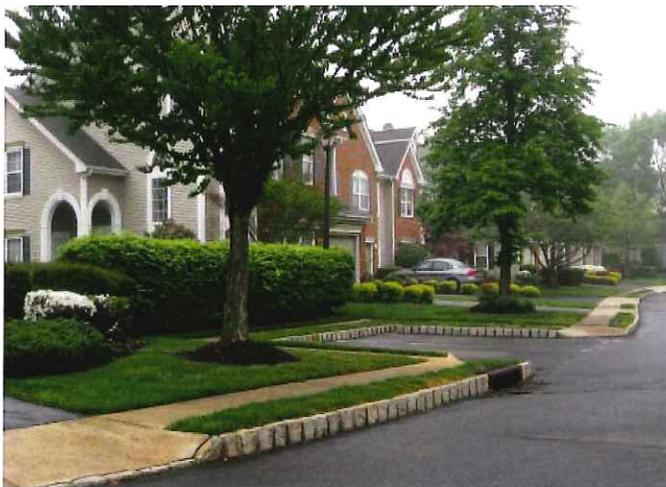
- 21.1 Street trees are intended to provide shade and screening, and add a graceful vertical component to the streetscape.
- 21.2 Street trees shall be installed and maintained along both sides of all streets.
- 21.3 Street tree locations shall be coordinated with street lights along accessways.
- 21.4 Street tree species utilized should vary by street or block and shall be deep rooted and stress-tolerant.
- 21.5 Street trees shall be maintained to provide appropriate height clearance for vehicles and pedestrians.



Street trees in combination with street lights to help define the streetscape.



Street trees regularly spaced located between units and the sidewalk.



A variety of street tree species utilized.



Street trees with an upright form along the streetscape.

Residential-Landscaping:General



Example of foundation landscaping.



Landscaping used to buffer between private and public areas.



Landscaping used as screening between residential units.

Design Guidelines:

- 22.1 Site landscaping shall be provided to enhance the residential community character and walkability of the neighborhoods, define public and private living areas, and to provide transition from the built environment to open space areas.
- 22.2 Plant material shall be selected to complement building design and other landscape features and materials.
- 22.3 A combination of lawn, groundcover, perennials, and shrubbery shall be employed to enhance the streetscape and individual townhouses where feasible.
- 22.4 To the greatest extent possible, mature trees shall be preserved.
- 22.5 Plant material selection shall be tolerant of prevailing climatic, hydrologic and soil conditions. The use of native plant species is encouraged.

Residential-Landscaping:Buffers

Design Guidelines:

- 22.6 Buffer plantings shall be installed to act as an aesthetic and visual barrier to the adjacent commercial uses.
- 22.7 Buffer plantings shall consist of a combination of deciduous and evergreen trees and may be further enhanced with masses of shrubs, perennials and grasses.
- 22.8 Buffer widths, size and quantities of required plant material shall be provided in accordance with the ordinance requirements.



Example of a landscape buffer in combination with a berm.



Mature landscape buffer with a variety of plant material.



Landscape buffer area utilizing a variety of trees.

General: Stormwater Management



Stormwater management integrated into a parking lot.



A rain garden.



A naturalized stormwater basin.

Design Guidelines:

- 23.1 All stormwater management shall be designed in accordance with the Marple Township Ordinances, and the PA DEP Best Management Practices, Regulations and Requirements.
- 23.2 A combination of stormwater features shall be utilized, such as above ground stormwater basins, underground detention basins, rain gardens, and infiltration swales.
- 23.3 Low-impact stormwater features such as rain gardens and infiltration swales provide opportunities for stormwater filtration and groundwater recharge areas. They also provide areas to manage and slow down excess runoff, promoting infiltration closer to the point of origin.



An infiltration/bio-swale.

General: Maintenance of Improvements

Design Guidelines:

- 24.1 The property owner/ home owners' association shall operate and maintain all improvements by inspecting, servicing and otherwise taking care of the same, putting and keeping same in working order, and performing and repairs, replacements and other work for such purposes.

- 24.2 Maintenance shall include keeping improvements well painted, clean, and clear of rubbish and debris.



Well maintained Town Center.



Well maintained pedestrian gathering area.



Well maintained outdoor dining.



Well maintained sidewalk.

